

North San Juan 95960

ZIP code · CA · California > Sierra County > North San Juan

BALANCED MARKET

\$245K

MEDIAN SALE PRICE

6

SALES (12 MO)

\$304K

MEDIAN VALUE (AVM)

Market temperature

Balanced market · 46 / 100



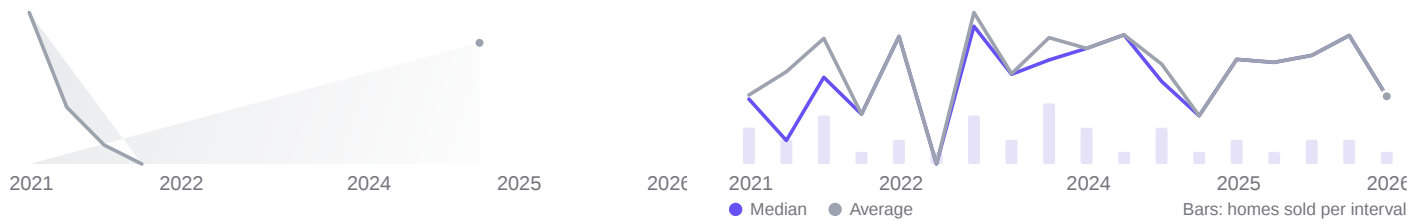
MARKET TRENDS (5 YEARS)

Market temperature (0–100)

46 / 100

Sale prices

Median \$245K · Average \$245K



Growth (year over year)

Price -13.1% · Sales -38.5%

Price per square foot

\$113/ft²

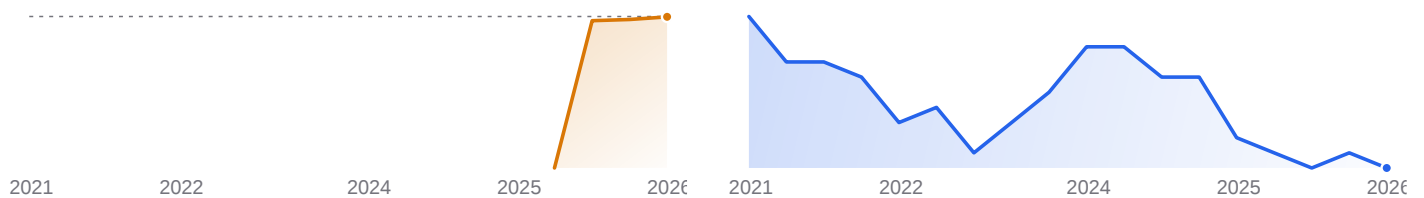


Sale premium vs estimated value

-0.1%

Annual turnover (share of homes sold)

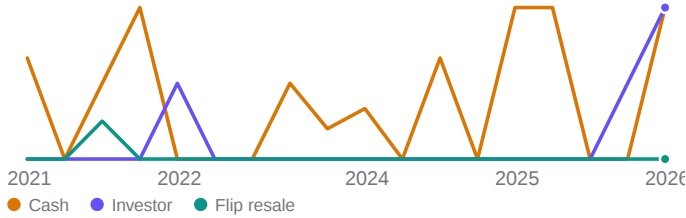
2.4%



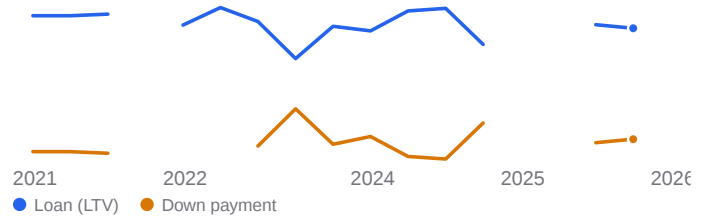
BUYERS & OUTCOMES

Buyer mix

Cash 100% · Investor 100% · Flip resale 0%

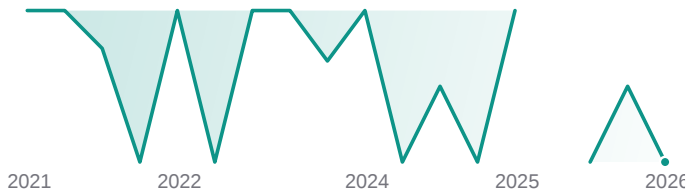


Financing (share of purchase price) Loan (LTV) 87% · Down payment 13%



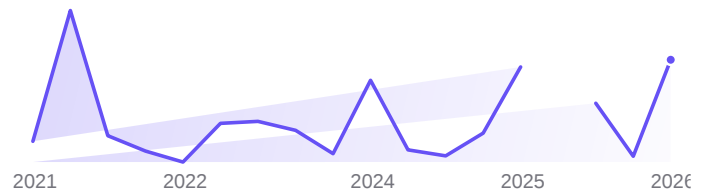
Sellers who sold at a gain

0%



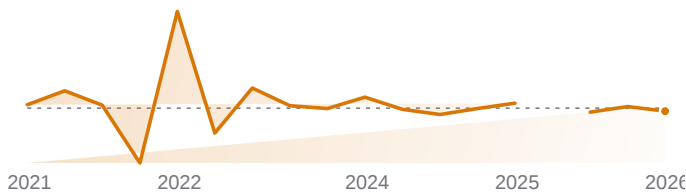
Typical hold before selling

18.9 yrs



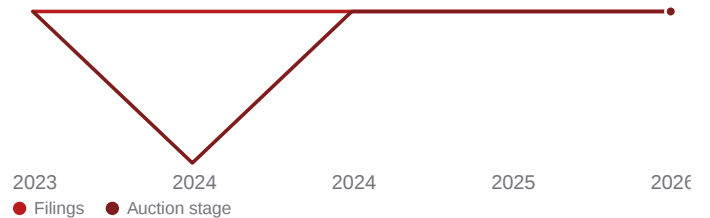
Median annualized return at resale

-1.9%



Preforeclosure filings

Filings 1 · Auction stage 1



HOUSING STOCK

Homes	252
Median value (AVM)	\$304K
Median size	1,216 ft²
Median bedrooms	2
Median year built	1982
Single family	85%

EQUITY & OWNERSHIP

Equity rich (LTV 50% or less)	65%
Underwater (LTV 125% or more)	3.6%
Owner occupied	56%
Company owned	12%
Median loan-to-value	31%
Typical ownership tenure	19.0 yrs

COMMUNITY

Population	1,193
Density	21 / mi²
Median household income	\$68K
Average household income	\$79K
Crime index (US avg 100)	132
Air pollution index (US avg 100)	91
Earthquake index (US avg 100)	120
Homes occupied	86%
Bachelor's or higher	20%
Poverty rate	15.6%
Unemployment	1.3%
Average temp	54°F
Annual precip	60 in
Sunshine	78%

Market metrics are derived from recorded arms-length deeds through April 2026, aggregated quarterly (lower sales volume). Temperature blends price momentum, sales velocity, turnover and resale outcomes, ranked nationally against geographies of the same type.